

Town of Reading
PO Box 5
Reading Center, NY 14876
607-535-7459

Application No.: _____
Date Filed: _____
Fee Paid: _____
Received By: _____
Decision _____ Date _____

Special Permit Application Form

This document is for illustrative purposes only to facilitate the application process. It in no way, supersedes the Land Use Law of the Town of Reading as the legal document governing the approval process. Additional information may be required before a final decision is made

Name: ISOKAN RETREAT
Mailing Address: 55 E 190 ST. APT. 69
BRONX, NY 10468
Telephone: 718.974.6710

Tax Map No. 42.00 - 4 - 20.1
Physical Address: 00 CHURCH RD. READING, NY 14878
(2448)

Please provide a description or narrative of all proposed uses and structures, including but not limited to hours of operation, number of employees, number of units, maximum occupancy, and required number of parking spaces.

ISOKAN RETREAT IS SET TO BE THE FINGER LAKES PREMIER LUXURY GLAMPING SITE.

PHASE I - (10) GEO DOMES

PHASE II - (10) GEO DOMES (1) WELLNESS SPA (1) WELCOME CENTER

YEAR ROUND OPERATIONS

PHASE I PARKING TO ACCOMODATE 24 VEHICLES

PHASE II PARKING TO ACCOMODATE 24 VEHICLES

ROAD ACCESS IMPROVEMENTS | ROADSIDE IMPROVEMENTS | BRIDGE | LANDSCAPING

AMMENTIES FOR EACH UNIT INCLUDE A SAUNA | HOT TUB | FIRE PIT

OVERALL SITE PROJECT IS LOW IMPACT TO NATIVE SURROUNDINGS.

Please provide a narrative report describing how the proposed use will satisfy the Special Permit Review Criteria as set forth in Section 9.5 of the Local Land Use Law.

THE SITE IS DESIGNED TO PROVIDE THE GUEST WITH AN ELEVATED LUXURY EXPERIENCE

BEING EMMERSED WITHIN NATURE. CORPORATE RETREATS | YOGA RETREATS |

WINTER RETREATS | WEDDINGS | OPEN TO THE PUBLIC FOR RESERVATIONS.

MINIMAL SITE DISTURBANCE IS TO OCCUR LEAVING 75% OF THE PROPERTY IN ITS

NATURAL STATE. UTILIZING BMP THROUGHOUT THE PROCESS TO KEEP THE PROPERTY
AS NATURAL AS POSSIBLE.

DESIGNED FOR MINIMAL IMPACT TO NEIGHBORING PROPERTIES.

X Attach a copy of Site Plan Application Form

X Agricultural data statement (if required by Section 5.6 of the Land Use Law)

X SEQR documentation in accordance with Section 7.6 of Local Land Use Law
Forms can be found at www.dec.ny.gov/permits/6191.html

 Special permit application fee as established by the Town Board.

Stephanie Margreno

Signature

April 1 2025

Date

Town of Reading
PO Box 5, Reading Center, NY 14876
607-535-7459

Application No.: 24013
Date Rec'd: 12/16/24
Fee Paid: N/A
Received By: T. Alger
Decision _____ Date _____

Site Plan Application Form

This document is for illustrative purposes only to facilitate the application process. It in no way, supersedes the Land Use Law of the Town of Reading as the legal document governing the approval process. Additional information may be required before a final decision is made

Name: SENECA STORM WATER SOLUTIONS
Mailing Address: 805 MIDDLE ST.
WATKINS GLEN, NY 14891
Telephone: 607.288.3708

Tax Map No. 42.00 - 4 - 20.1
Physical Address: 2448 CHURCH RD.
READING, NY 14878

Developer, Engineer, or Landscape Architect SDWS / MELTID ENGINEERING / THIN TIERS
SURVEYING

A licensed professional engineer or land surveyor shall prepare all site plan materials unless otherwise approved by the Planning Board.

An application for Site Plan review shall include the following materials, as applicable.

Description or narrative of all proposed uses and structures, including but not limited to hours of operation, number of employees, maximum seat capacity, and proposed number of off-street parking spaces.

2 PHASE CLUMPING SITE. PHASE 1 CONSIST OF PARKING &
(10) CAMP SITES.
PHASE 2 CONSIST OF (10) CAMP SITES / STAGE / CPA

X A site plan drawn at a scale of forty feet to the inch (1"-40') or such other scale as the Planning Board may deem appropriate, on standard 24"x 36" sheets, with continuation on 8 ½"x 11" sheets as necessary for written information.

X A certified land survey showing the boundaries of the applicant's property under consideration in its current state plotted to scale with the north point, scale, and date clearly indicated.

_____ Plans indicating the following with regard to the property in question, where applicable.

- ✓1. The location of all properties, their ownership, uses thereon, subdivisions, streets, easements, and adjacent building within five hundred (500) feet of the property in question.
2. The location of all and use of all existing and proposed structures on the property in question, including all dimensions of height or floor area, exterior entrances, and anticipated future additions and alterations.
- ✓3. The location of all existing and proposed topography features, including but not limited to, site grading, open spaces, woodlands, watercourses, steep slopes, wetlands, floodplains, and watersheds.
4. The location of existing and proposed landscaping, screening, walls, and fences, including information regarding the size and type of plants and building materials proposed.
- ✓5. The location of existing and proposed public and private streets, off-street parking areas, loading areas, driveways, sidewalks, ramps, curbs, and paths. Such plans shall include considerations for vehicular, pedestrian, and bicycle traffic circulation, parking, and access.
- ✓6. The location of existing and proposed utility systems including sewage or septic, water supply, telephone, cable, electric, and storm water drainage. Storm water drainage systems shall include existing and proposed drain lines, culverts, catch basins, headwalls, end walls, hydrants, manholes, and drainage swales.
7. The location, height, intensity, and bulb type (sodium, incandescent, etc.) of all external lighting fixtures. The direction of illumination and methods to eliminate glare onto adjoining properties and must also be shown.
8. The location, height, size, material, and design of all existing and proposed signs.

X Plans to prevent the pollution of surface or ground water, erosion of soil both during and after construction, excessive runoff, excessive raising or lowering of the water table, and flooding of other properties, as applicable.

 X A schedule for completion of each construction phase for buildings, parking, and landscaped areas

 Agricultural data statement (if required by Section 5.6 of Local Land Use Law)

 X SEQR documentation as classified by the Planning Board in accordance with Section 7.6 of the Land Use Law.

 All required fees and reimbursements to cover professional review costs, if required.


Signature

11 DEC. 2021
Date

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Isokan Retreat			
Project Location (describe, and attach a location map): 2448 Church Road, Rock Stream, New York, 14878			
Brief Description of Proposed Action: The property's walking path will be turned into a gravel roadway. Forest undergrowth will be removed. Ten elevated Geodom campsites will be placed, and 10 septic systems will be installed.			
Name of Applicant or Sponsor: Seneca Storm Water Solutions, LLC		Telephone: 607-228-3708 E-Mail: stephanie@senecasws.com	
Address: 805 Magee Street			
City/PO: Watkins Glen		State: New York	Zip Code: 14891
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: DEC Town of Reading		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		40 acres	
b. Total acreage to be physically disturbed?		1 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimal site disturbance will be a gravel roadway through the campsite and elevated campsites. The land will be graded to allow stormwater to disperse over a large area located on the same property		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Seneca Storm Water Solutions, LLC</u> Date: <u>12/11/2024</u> Signature:  Title: <u>Owner of SSWS</u>		

TOWN OF READING AGRICULTURE DATA STATEMENT

This statement is to be submitted with all applications required for a Subdivision, Special Use Permit, Site Plan Approval or Use Variance Approval for projects occurring on property within an Agricultural District containing a farm operation, or on property with boundaries within 500 feet of a farm operation located in an Agricultural district (Ref. Town Law 283-a)

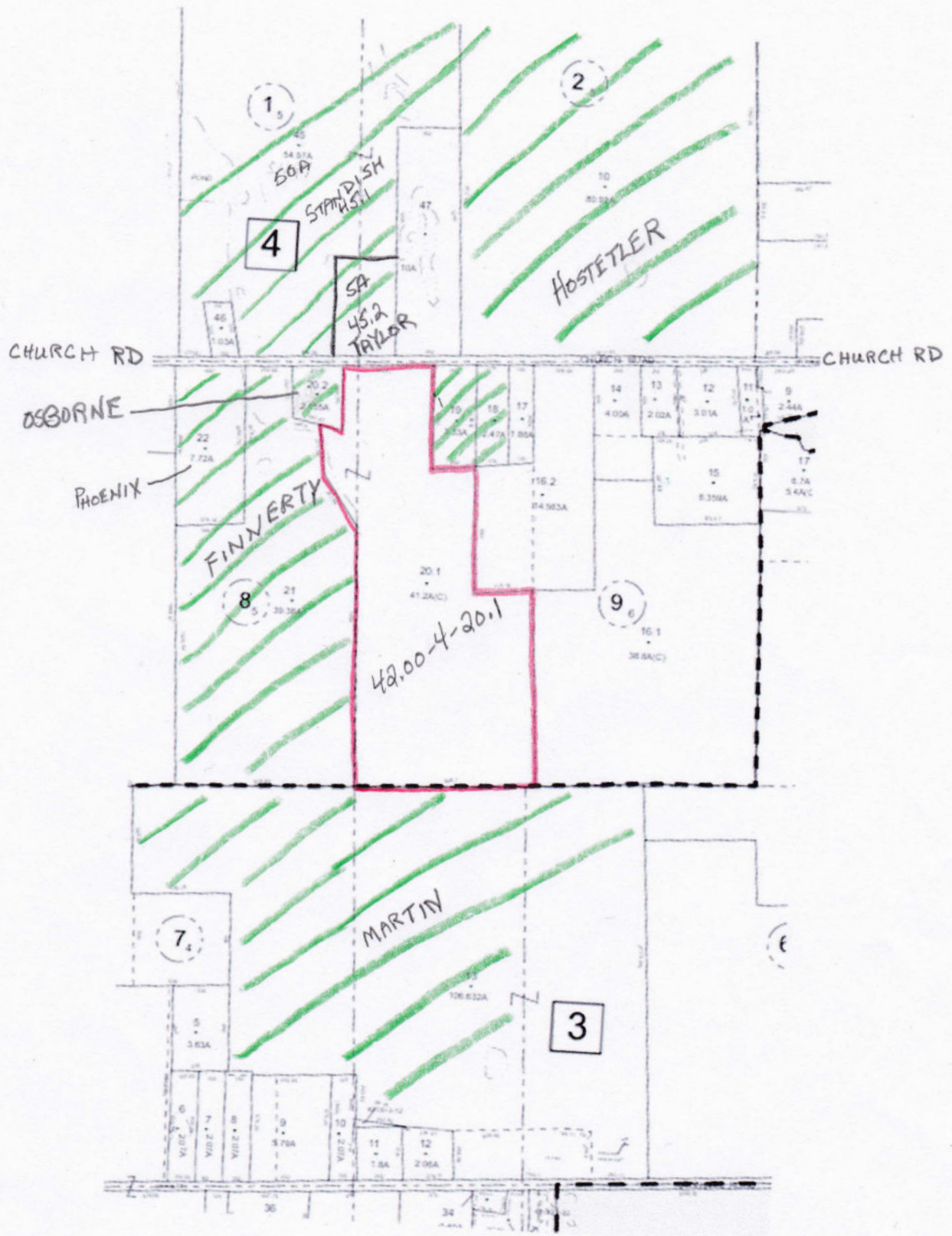
1. Applicant's Name: Seneca Stormwater
Address: 805 Magee St., Watkins Glen, NY 14891
Phone: 607-288-3708
2. Description of proposed project: Site plan for campground _____
3. List names and addresses of farming operations * within 500 feet of the proposed project:

Lance Z Martin, 42.00-3-13	2529 Jennings Rd, Watkins Glen NY 14891
Anthony & Julie Hostetler, 42.00-4-10	2571 Church Rd, Rock Stream NY 14878
Matthew & Jamie L Novak, 42.00-4-18	1815 CR 23, Watkins Glen NY 14
Stanley Smith, 42.00-4-19	2502 Church Rd, Rock Stream NY 14878
Edward Osborne & Kari Powell, 42.00-4-20.2	2448 Church Rd, Rock Stream NY 14878
Tina M Finnerty, 42.00-4-21	2440 Church Rd, Rock Stream NY 1487
Glenda L Phoenix, 42.00-4-22	2420 Church Rd, Reading Center NY 14876-0065
Gordon L & Rhonda Standish, 42.00-4-45.1	P.O. Box 26, Reading Center NY 14876
Michael A Taylor & Ashley Smith, 42.00-4-45.2	2021 State Route 414, Watkins Glen NY 14891
4. Written description of exact location of the proposed project: Please attach a tax map or clearly drawn map showing proposed project relative to all farming operations identified in the Data Statement

See the attached tax parcel map with the 41.2 acres outlined in the center of the attached map of Tax Map Parcel No. 42.00-4-20.1, 2448 Church Rd., Rock Stream, NY

*Farming operations, as defined by NYS Agriculture and Markets Law, Article 25-AA, means the land used in agricultural production, farm buildings, equipment, and farm residential buildings.

Ag Data Statement Tax Map Parcel 42.00-4-20.1, 2448 Church Rd., Reading NY



LEGEND

- COVER PAGE
- SHEET 1 – NOTES
- SHEET 2 – OVERALL SITE PLAN
- SHEET 3 – SURVEY
- SHEET 4 – PHASE I SITE PLAN
- SHEET 5 – PHASE II SITE PLAN
- SHEET 6 – ARCHITECTURAL
- SHEET 7 – STRUCTURAL
- SHEET 8 – ELECTRICAL | SOLAR
- SHEET 9 – PLUMBING
- SHEET 10 – POTABLE WATER TREATMENT
- SHEET 11 – WASTEWATER TREATMENT
- SHEET 12 – EROSION CONTROL | STORMWATER
- SHEET 13 – LANDSCAPING



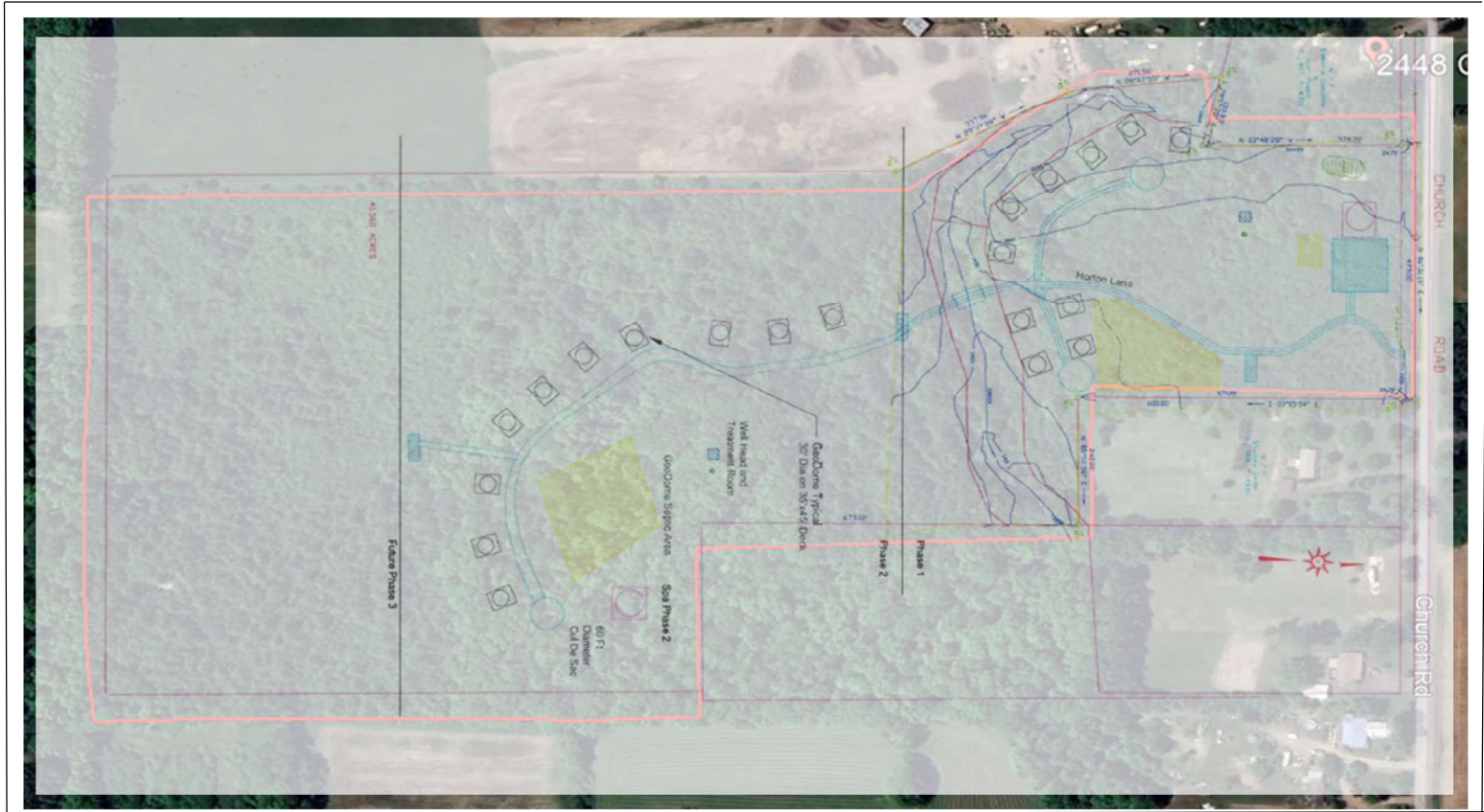
CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS INCLUDING OPENINGS IN RESPECT TO CONSTRUCTION, ELECTRICAL, HVAC AND PLUMBING CONTRACTOR TO COMPLY WITH THE NEW YORK STATE RESIDENTIAL BUILDING CODE, AND THE LOCAL, CITY AND TOWN REQUIREMENTS WHERE APPLICABLE. ALL CONSTRUCTION DEBRIS TO BE REMOVED BY CONTRACTOR

DRAWING ALTERATION
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS



ISOKAN RETREAT
00 CHURCH RD.
READING, NEW YORK 14878
OWNER: GERALD HORTON
DEVELOPER: SENECA STORMWATER SOLUTIONS



TAX ID: 42.00 – 4 – 20.1	SWIS: 443289	LATITUDE: 42, 25, 46.07 N	LONGITUDE: 75, 56, 43.89 W
<u>SURVEYING</u>	<u>ENGINEERING</u>	<u>NYSDOH</u>	<u>NYSDEC</u>
TWIN TIERS SURVEYING	MELITA ENGINEERING	MICHAEL G. BAILEY	DIV. OF ENV. PERMITS
116 S. MAIN ST.	P.O. BOX 32	107 BROADWAY, ROOM 105	625 BROADWAY
HORSEHEADS, NY 14845	CORNING, NY 14830	HORNELL, NY 14843	ALBANY, NY 12233
607.739.9440	607.329.6142	607.324.8371	518.402.9167



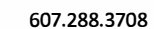
SENECA STORMWATER SOLUTIONS
SITE WORK CONSTRUCTION &
STORMWATER MANAGEMENT
607.288.3708

00 CHURCH RD.
READING, NY 14878
NOT FOR CONSTRUCTION
ISOKAN RETREAT

SCALE:
NTS

TITLE:
COVER PAGE

DATE: 28 FEBRUARY 2025

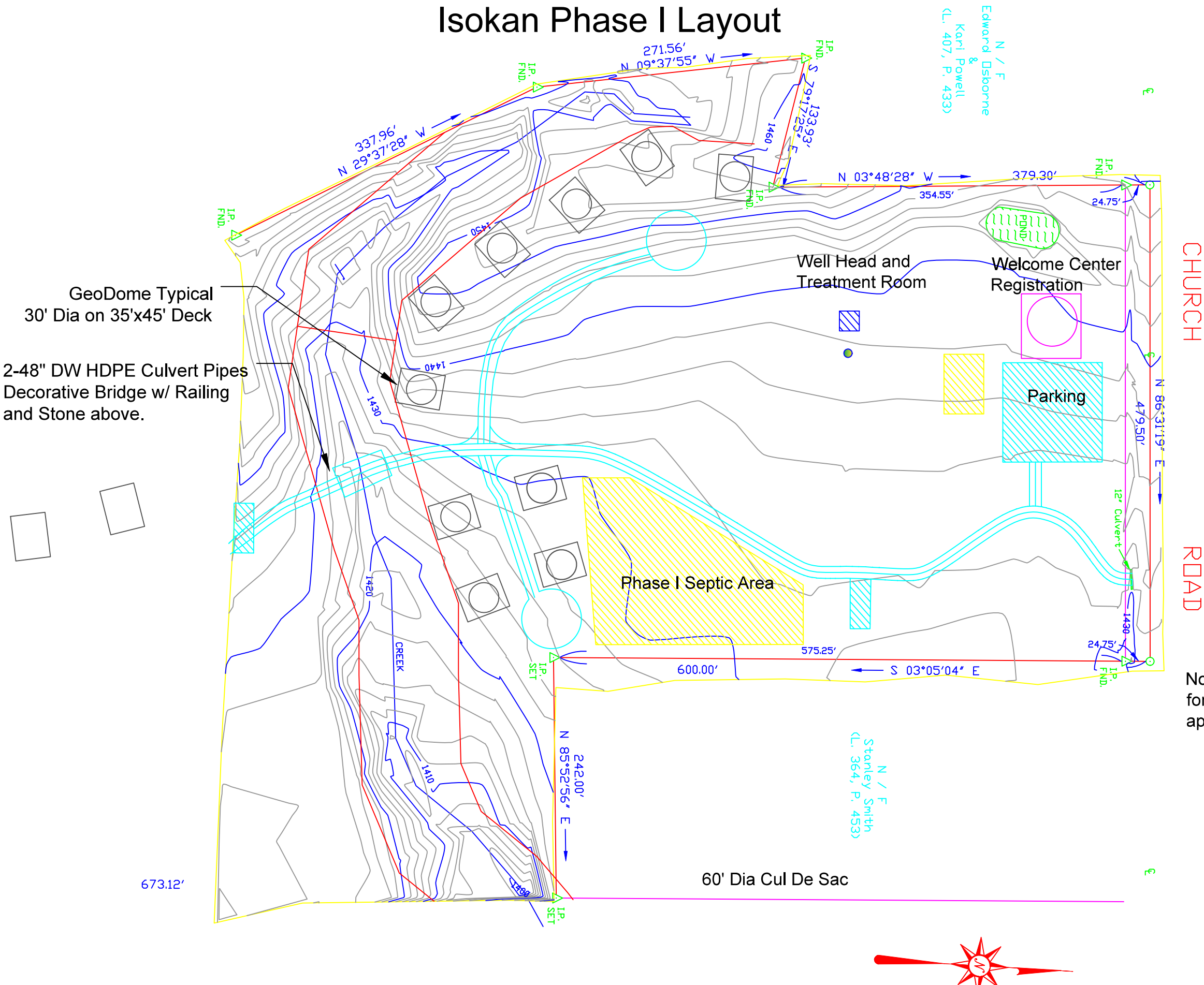


ISOKAN RETREAT

3



Isokan Phase I Layout



SENECA STORMWATER SOLUTIONS
SITE WORK CONSTRUCTION &
STORMWATER MANAGEMENT
607.288.3708

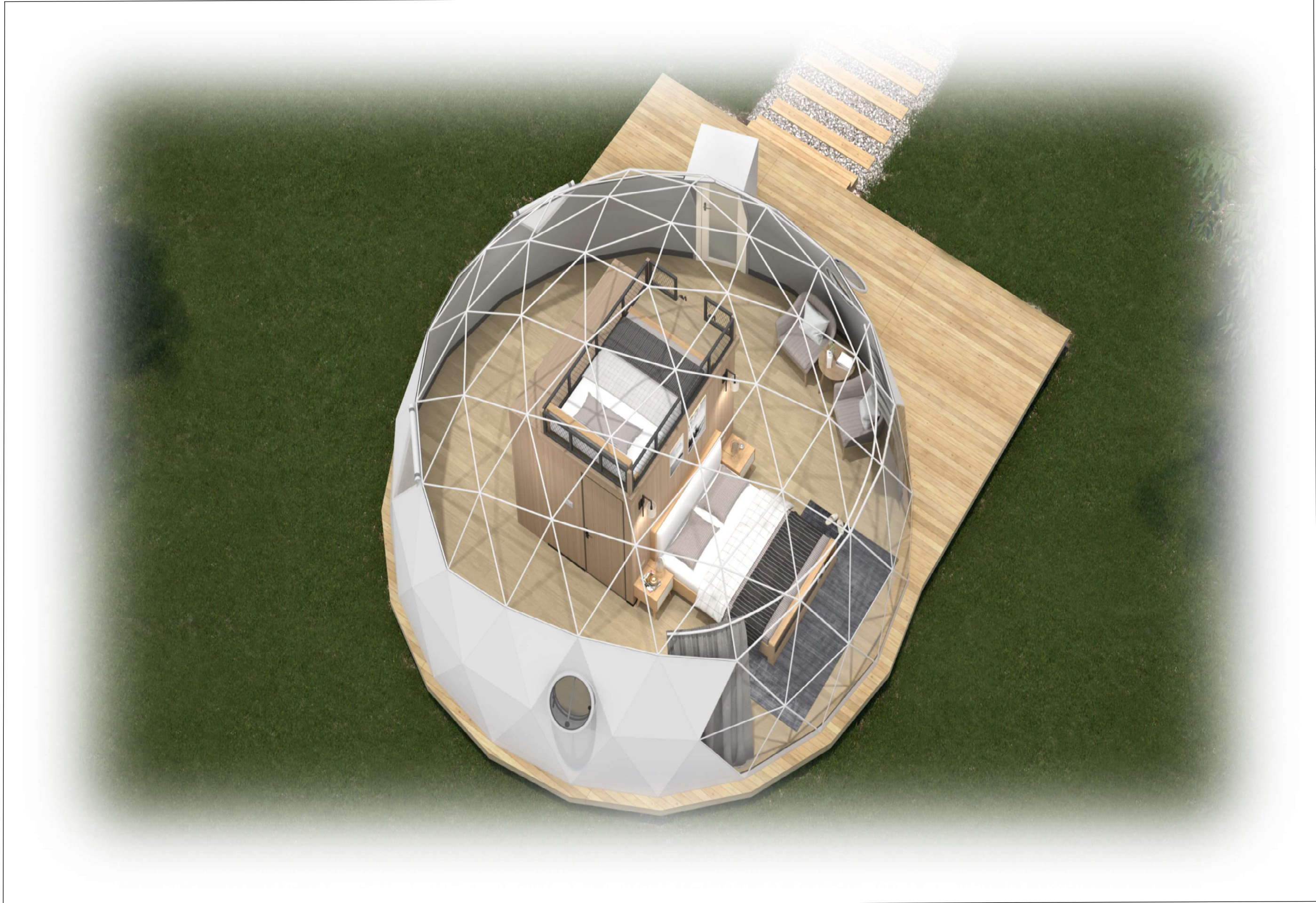
00 CHURCH RD.
READING, NY 14878
FOR CONSTRUCTION
ISOKAN RETREAT



CHURCH
ROAD

Note: Current estimate
for disturbed ground is
approximately 38,500 SF

SCALE:	NTS
TITLE:	SHEET 4 PHASE I – SITE PLAN
DATE:	28 FEBRUARY 2025
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SENECA STORMWATER SOLUTIONS
SITE WORK CONSTRUCTION &
STORMWATER MANAGEMENT
607.288.3708

00 CHURCH RD.

READING, NY 14878

NOT FOR CONSTRUCTION

ISOKAN RETREAT

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NTS

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SHEET 6
ARCHITECTURAL

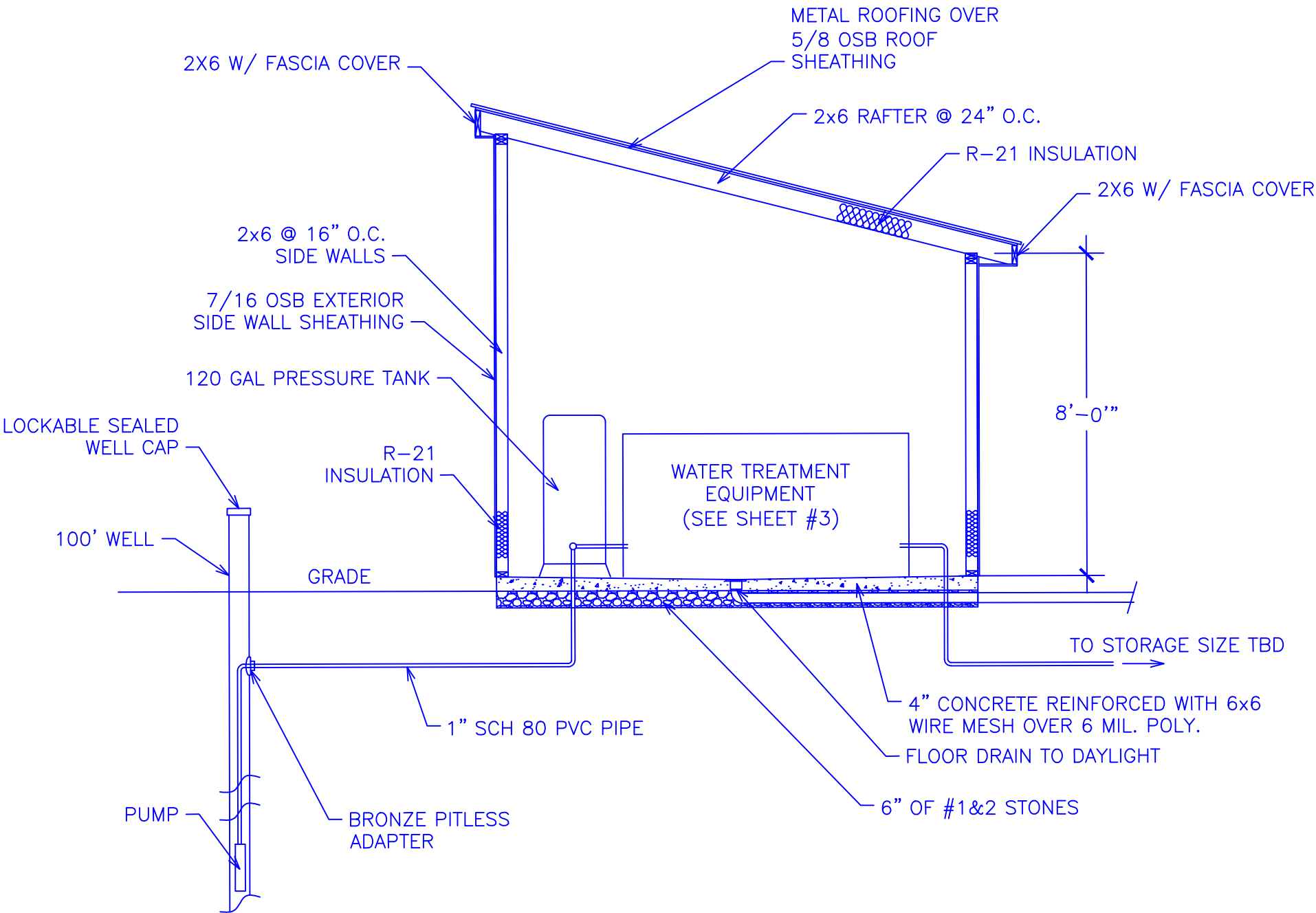
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GENERAL NOTES:
- ALL POTABLE WATER MATERIALS TO BE NSF61 CERTIFIED

WELL HOUSE :
- 12'x12'x8', OR LARGER DEPENDING ON EQ
- 6' DOOR WITH PADLOCK
- WATER PIPING TO BE COLOR CODED



WELL AND WELL HOUSE DETAIL
N.T.S

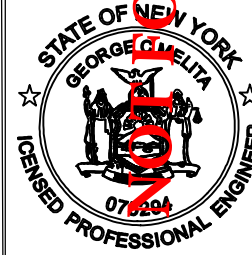


SENECA STORMWATER SOLUTIONS
SITE WORK CONSTRUCTION &
STORMWATER MANAGEMENT
607.288.3708

00 CHURCH RD.

READING, NY 14878

ISOKAN RETREAT



SCALE:

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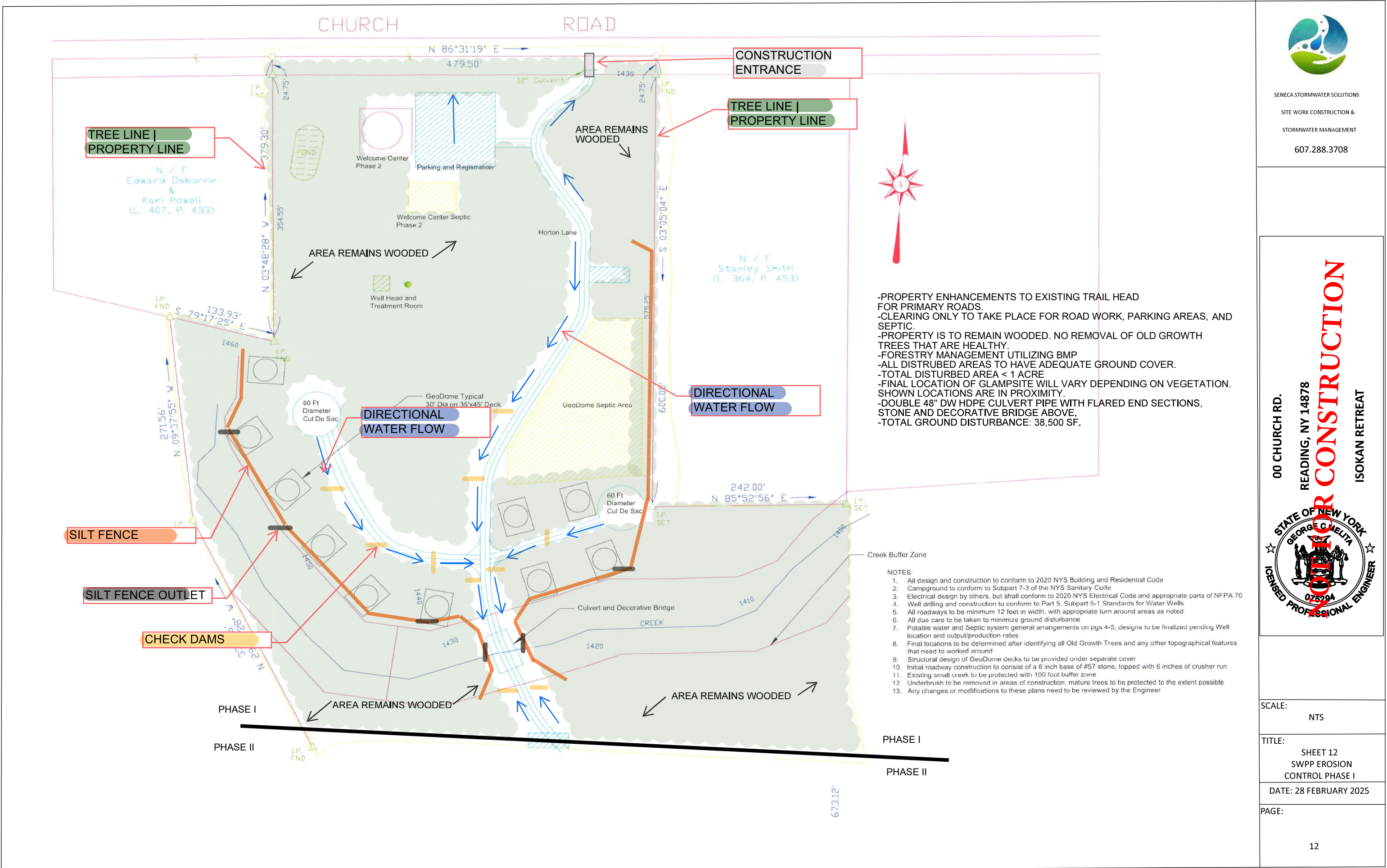
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SHEET 10
POTABLE WATER TREATMENT

DATE: 28 FEBRUARY 2025

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SENECA STORMWATER SOLUTIONS
SITE WORK CONSTRUCTION &
STORMWATER MANAGEMENT
607.288.3708

00 CHURCH RD.
READING, NY 14878
ISOKAN RETREAT
2020 CONSTRUCTION

STATE OF NEW YORK
GEORGE C. MELITA
LICENSED PROFESSIONAL ENGINEER
075294

SCALE: NTS
TITLE: SHEET 12
SWPP EROSION
CONTROL PHASE I
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SENECA STORMWATER SOLUTIONS

SITE WORK CONSTRUCTION &
STORMWATER MANAGEMENT

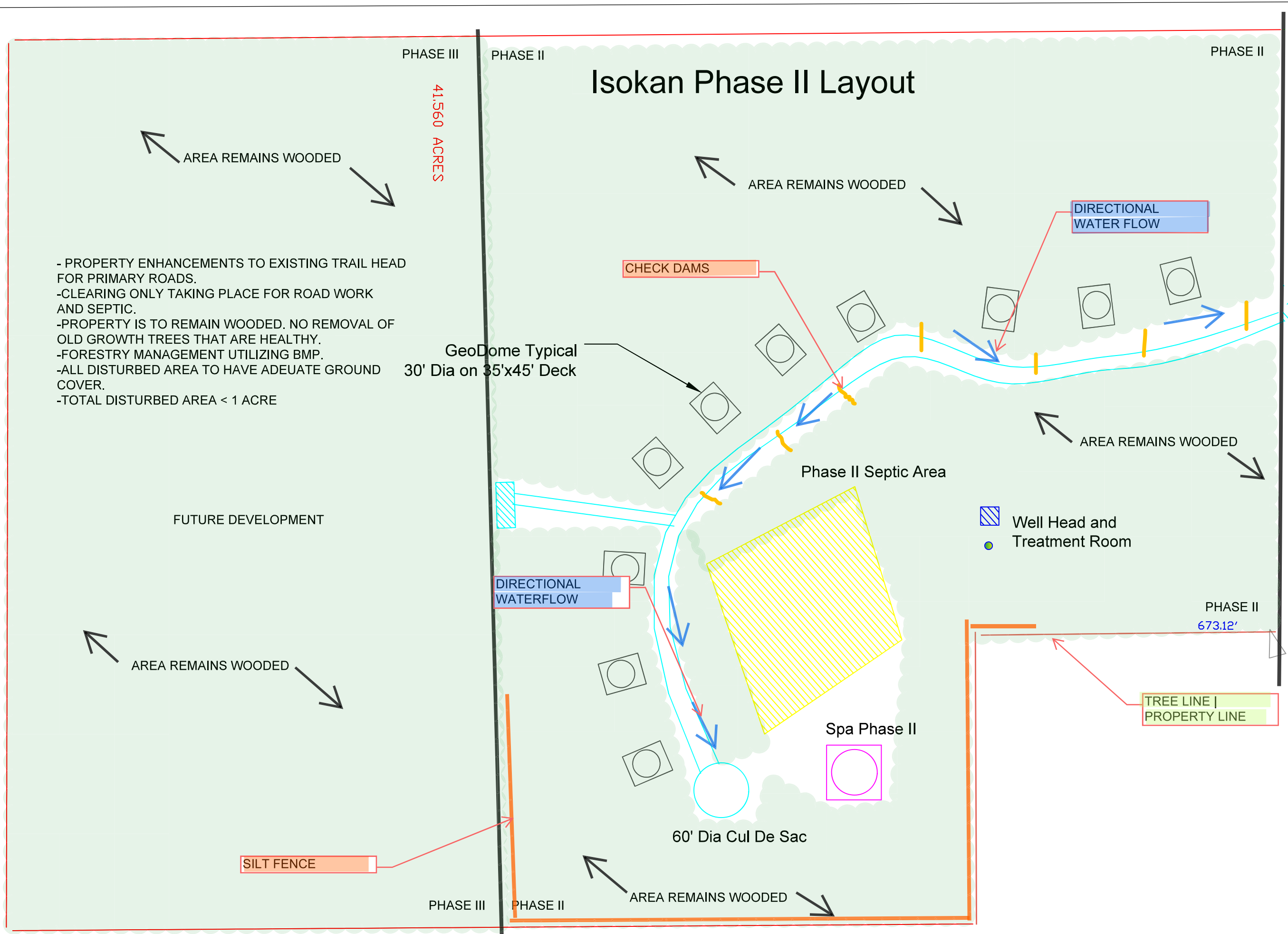
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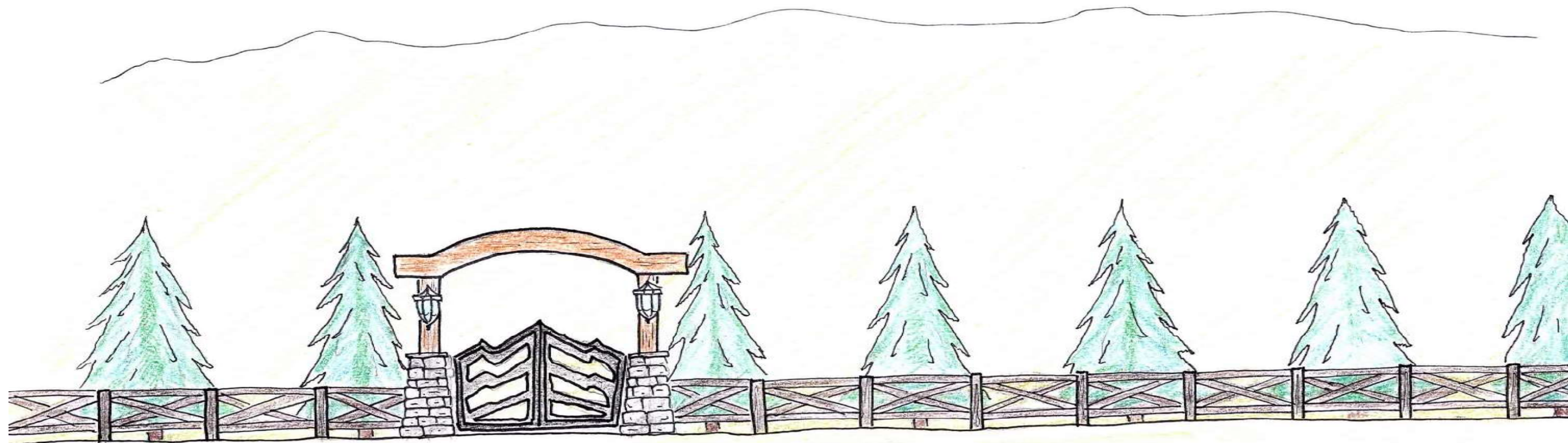
SHEET 12
SWPP EROSION
CONTROL - PHASE II

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MAIN ENTRANCE
ISOKAN RETREAT



SENECA STORMWATER SOLUTIONS

SITE WORK CONSTRUCTION &

STORMWATER MANAGEMENT

607.288.3708

00 CHURCH RD.

READING, NY 14878

NOT FOR CONSTRUCTION

ISOKAN RETREAT

SCALE:

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TITLE:

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LANDSCAPING

28 FEBRUARY 25

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SENECA STORMWATER SOLUTIONS
SITE WORK CONSTRUCTION &
STORMWATER MANAGEMENT
607.288.3708

00 CHURCH RD.

READING, NY 14878

NOT FOR CONSTRUCTION

ISOKAN RETREAT

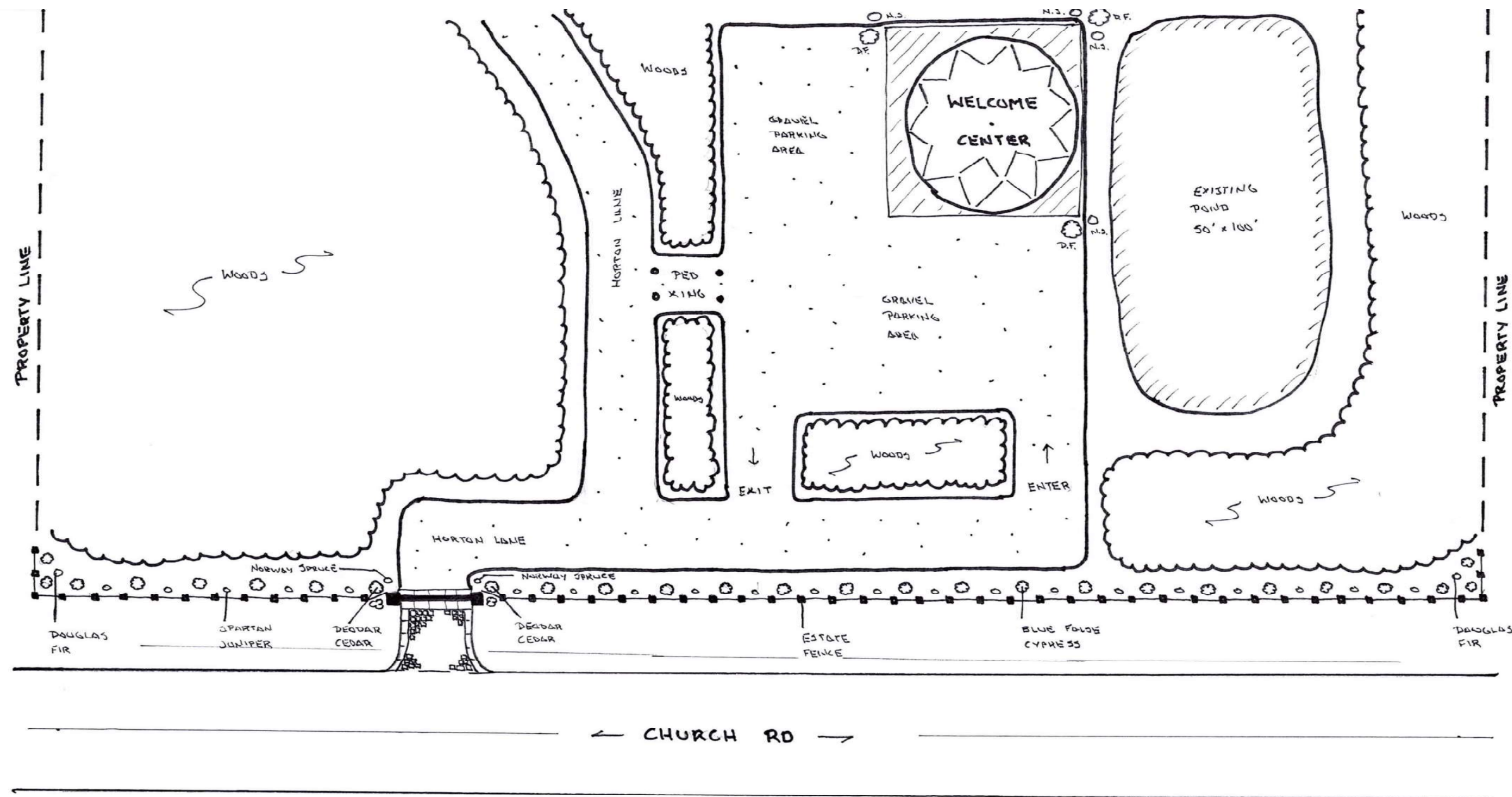
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SHEET 13
LANDSCAPING

DATE: 28 FEBRUARY 2025

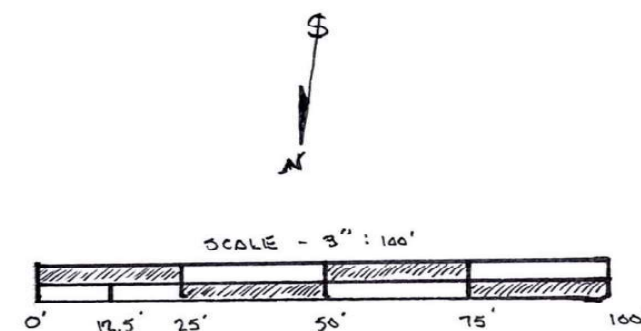
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- ESTATE FENCING - 500 L.F. - SEE DETAILS
- ENTRANCE - 20' WIDE - SEE DETAILS
- CARRIAGE GATE - SEE DETAILS
- BOLLARDS - 4 EA - SEE DETAILS

- SPARTAN JUNIPER (21) EA
- BLUE FALSE CYPRESS (25) EA
- DECIDUOUS CEDAR (2) EA
- NORWAY SPRUCE (6) EA
- DOUGLAS FIR (5) EA





SENECA STORMWATER SOLUTIONS

SITE WORK CONSTRUCTION &

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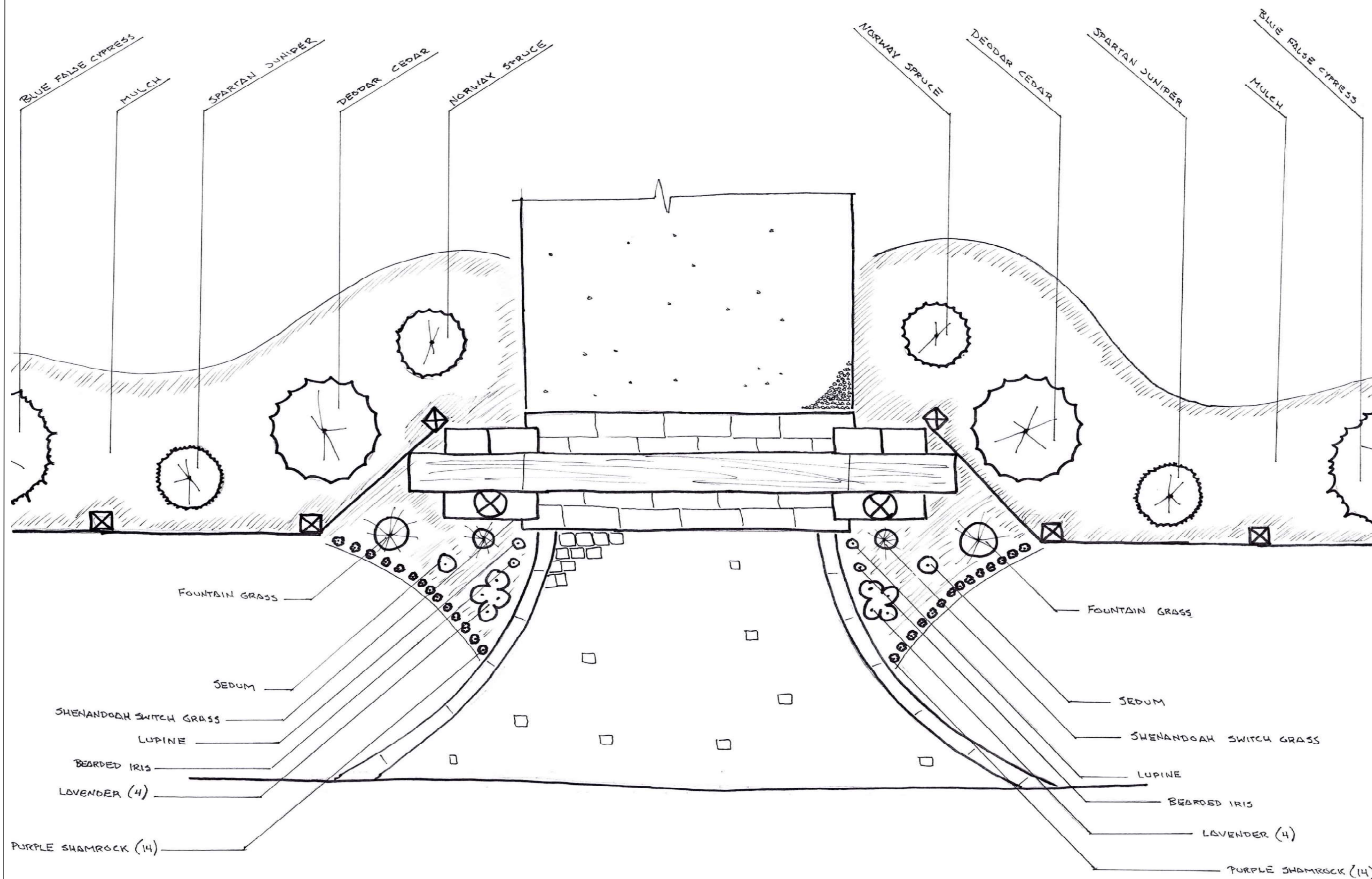
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BLUE FALSE CYPRESS



DEODAR CEDAR



DOUGLAS FIR



NORWAY SPRUCE



SPARTAN JUNIPER



ALLIUM



BEARDED IRIS



CATTAIL



FOUNTAIN GRASS



FERNS



GARDENIA



LAVENDER



LUPINE



PENNSYLVANIA SEDGE



PURPLE SHAMROCK



SEDUM



SHENANDOAH SWITCH GRASS



SENECA STORMWATER SOLUTIONS

SITE WORK CONSTRUCTION &

STORMWATER MANAGEMENT

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